



BUILDING DEPARTMENT – COMMUNITY DEVELOPMENT

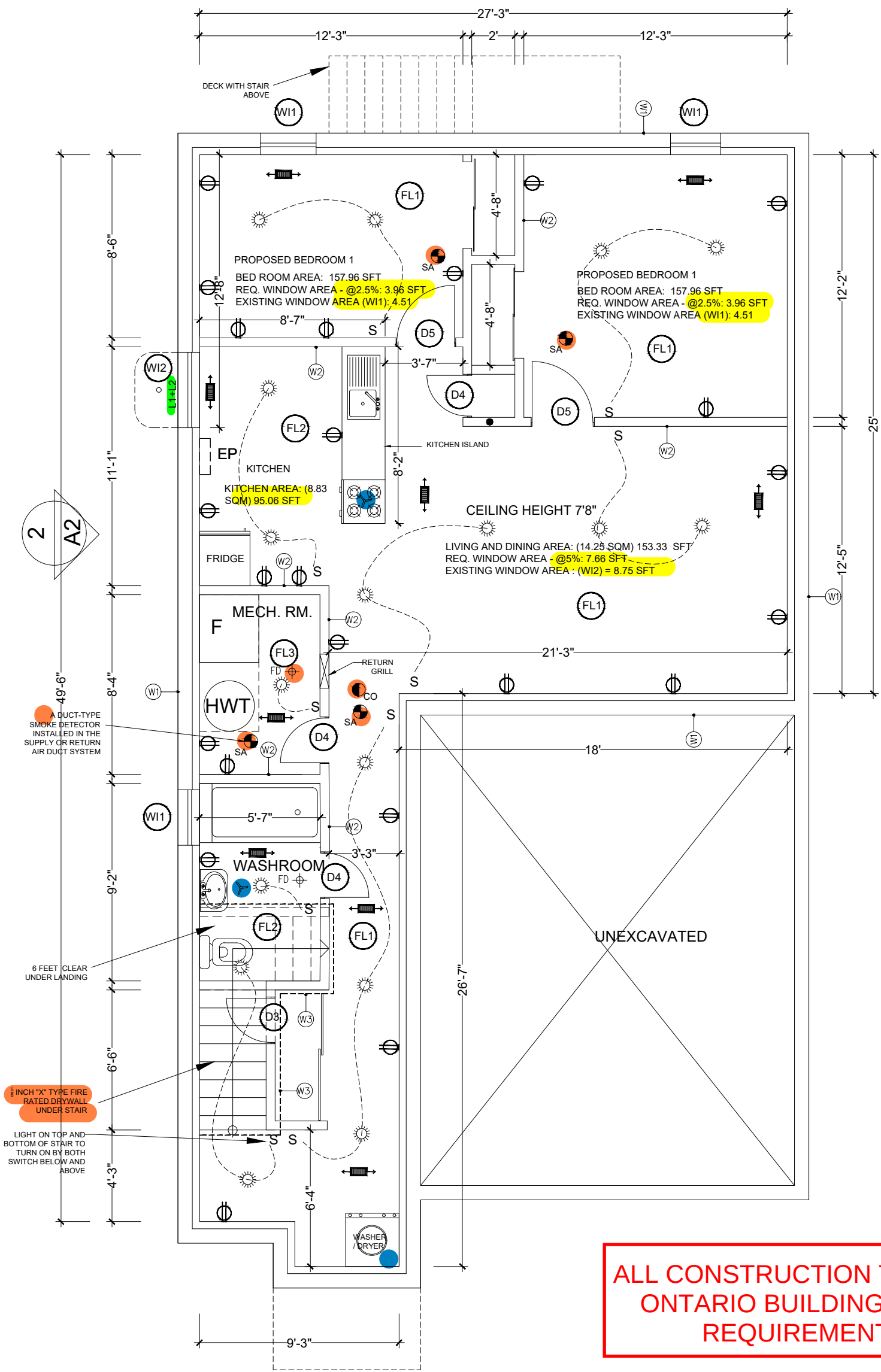
REQUIRED BUILDING AND PLUMBING INSPECTIONS

The permit holder shall notify the Chief Building Official of each stage of construction noted below at least 2 business days in advance. The permit holder shall provide the permit number, municipal address, contact phone number and the date and approximate time the work will be completed for inspection. To arrange for an inspection please call the inspector listed on your building permit.

- ☒ **START OF CONSTRUCTION** – *when construction starts*
- ☐ **READINESS TO CONSTRUCT FOOTINGS** – *when the footings are formed in the excavation or when the pier holes are excavated, and prior to any concrete being placed*
- ☐ **SUBSTANTIAL COMPLETION OF FOOTINGS AND FOUNDATIONS PRIOR TO BACKFILLING** – *when the foundation has been stripped of formwork, damproofed, any drainage layers installed and any weeping tile and stone is placed*
- ☐ **READINESS FOR INSPECTION AND TESTING OF BUILDING SEWERS AND BUILDING DRAINS** – *when the exterior sanitary and/or storm sewers have been placed*
- ☒ **SUBSTANTIAL COMPLETION OF FRAMING & DUCTWORK & PIPING FOR HVAC** – *when the framing is complete, roof is shingled, windows are installed, plumbing/hvac is roughed-in and prior to insulating. Engineered truss drawings and/or engineered framing drawings must be provided at the time of inspection*
- ☒ **READINESS FOR INSPECTION AND TESTING OF DRAINAGE SYSTEMS, VENTING SYSTEMS AND THE WATER DISTRIBUTION SYSTEM** – *when the plumbing is roughed-in and ready for testing/inspection*
- ☐ **SUBSTANTIAL COMPLETION OF INSULATION VAPOUR BARRIERS** – *when insulation is installed and all vapour barriers are installed and sealed and prior to covering with interior/exterior finish*
- ☐ **SUBSTANTIAL COMPLETION OF AIR BARRIER SYSTEM** – *when air barriers are installed and sealed and prior to covering with interior/exterior finish*
- ☒ **SUBSTANTIAL COMPLETION OF ALL REQUIRED FIRE SEPARATIONS AND CLOSURES AND ALL FIRE PROTECTION SYSTEMS** - *including standpipe, sprinkler, fire alarm and emergency lighting systems*
- ☒ **READINESS FOR INSPECTION AND TESTING OF PLUMBING FIXTURES AND PLUMBING APPLIANCES** – *when the plumbing fixtures are installed*
- ☐ **SUBSTANTIAL COMPLETION OF FIRE ACCESS ROUTE** – *when route is paved and signed*
- ☐ **COMPLETION OF CONSTRUCTION AND INSTALLATION OF COMPONENTS REQUIRED TO PERMIT THE ISSUANCE OF AN OCCUPANCY PERMIT OR TO PERMIT OCCUPANCY**
- ☒ **FINAL COMPLETION** - *when all work is done*

The permit holder shall notify the Chief Building Official of each stage of construction for which a mandatory notice is required under Div. C, 1.3.5.1 of the 2012 Ontario Building Code. The permit holder shall provide the notice of completion as prescribed by Section 11 of the Act, or where occupancy is required prior to completion, notice of inspection to ensure compliance with Section 11 of the Act and Div. C, 1.3.3 of the 2012 Ontario Building Code.

NOTE: Section 13.(6) Order to Uncover of the Building Code Act states as follows: "A Chief Building Official or registered code agency who has reason to believe that part of the building that is covered or enclosed has not been constructed in compliance with this Act or the Building Code may order the persons responsible for the construction, to uncover the part at their own expense for the purpose of an inspection."



ALL CONSTRUCTION TO MEET
ONTARIO BUILDING CODE
REQUIREMENTS

1 BASEMENT PLAN
A-1 SCALE: 3/16"=1'-0"

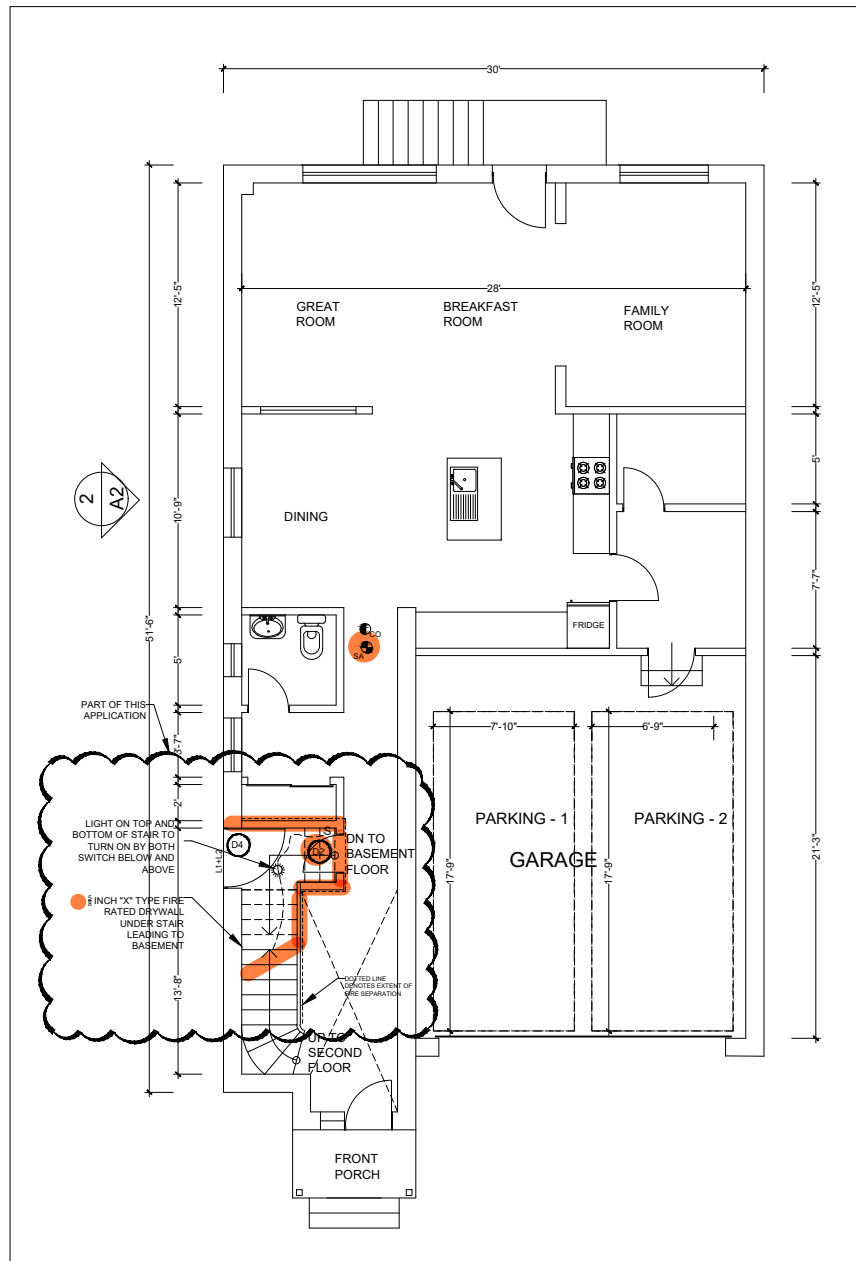
11.5.1.1. | NUMBER: C91
IN A BUILDING CONTAINING NOT MORE THAN FOUR DWELLING UNITS OR RESIDENTIAL SUITES, THE EXISTING HEATING OR AIR-CONDITIONING SYSTEM MAY BE ALTERED TO SERVE MORE THAN ONE DWELLING UNIT OR SUITE, PROVIDED SMOKE ALARMS ARE INSTALLED IN EACH DWELLING UNIT OR SUITE AND PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.

WINDOW SIZES: FOR BEDROOM WINDOW
PROVIDES AN INDIVIDUAL, UNBOSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35m2 WITH NO DIMESNSION LESS THAN 380mm.
REFER TO 9.9.10.1 (1)

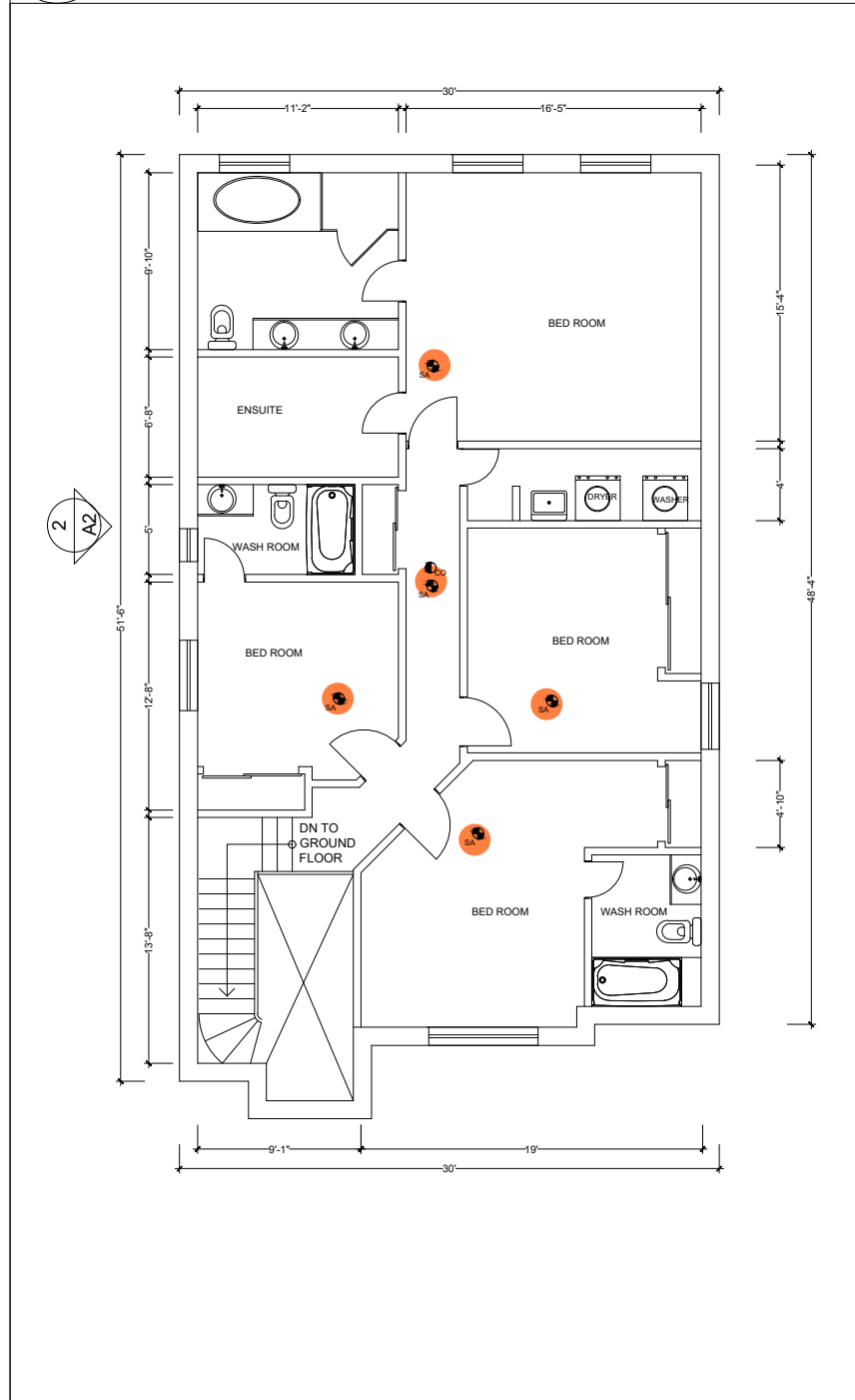


2 LEGEND
A-1 SCALE: NTS

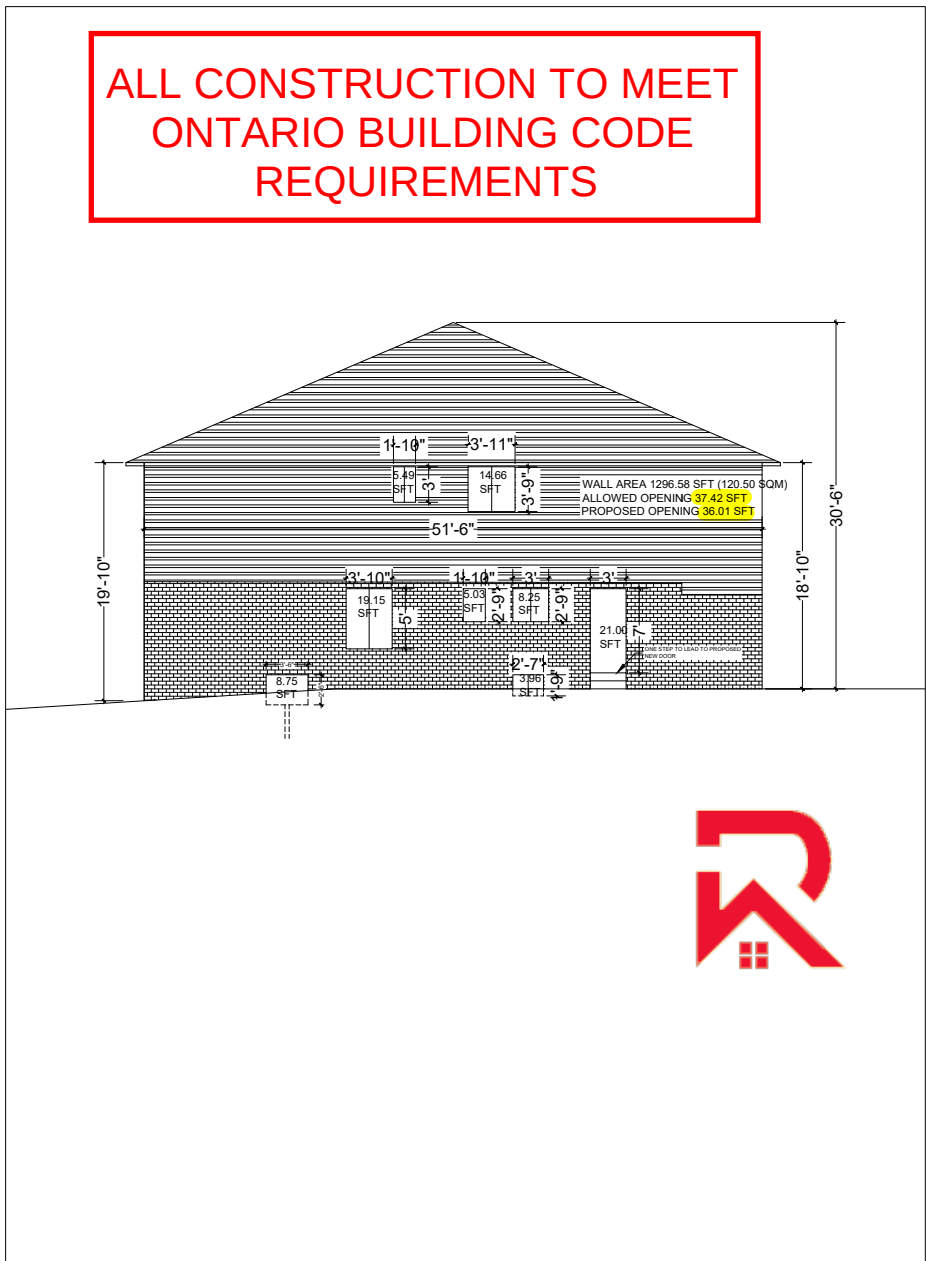
OWNER:			LOCATION 210 ENGLISH LANE BRANTFORD ON N3T5L5
SIGNED - MD ARIFUZZAMAN	NO:	DATE:	DRAWN BY
	PROJECT TITLE:	REVISION:	CHECKED BY
SIGNED - MST ROKSHANARA KHATUN	DRAWING TITLE:		PROJECT DATE:
	BASEMENT PLAN		MARCH 2021
			PROJECT NO:
			22001
			SHEET NO:
			A1



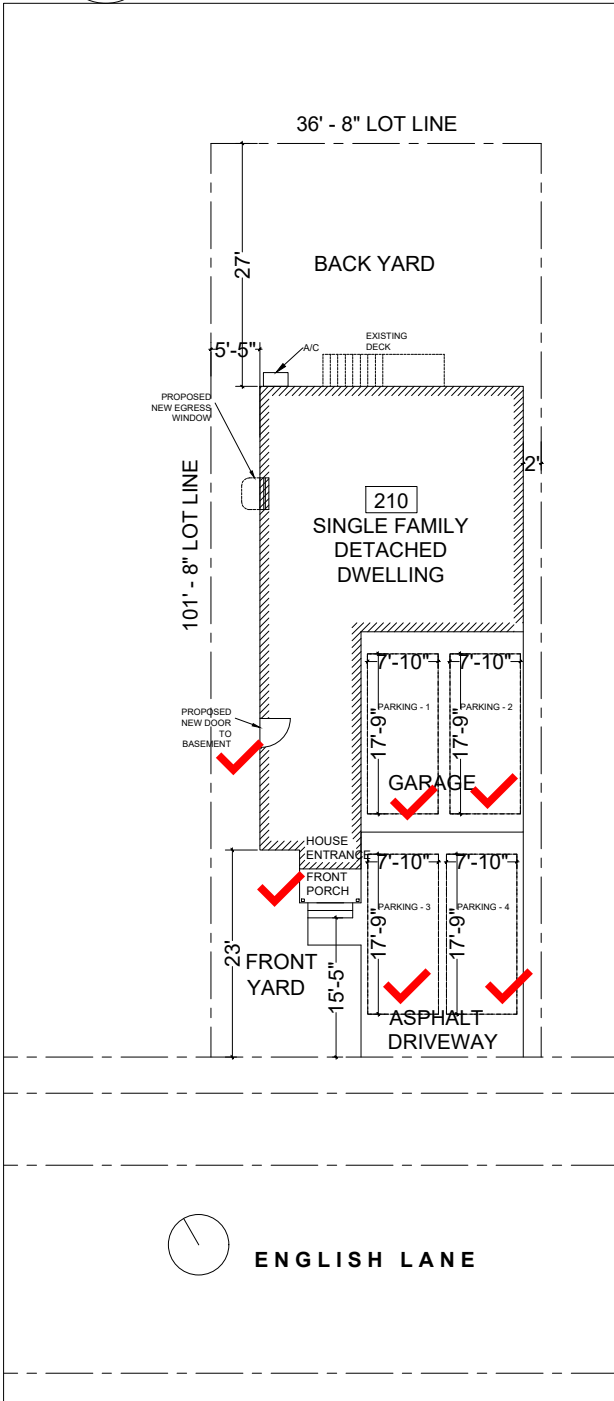
1 MAIN FLOOR PLAN
A-2 SCALE: 3/32"=1'-0"



3 SECOND FLOOR PLAN
A-2 SCALE: 3/32"=1'-0"



2 WEST ELEVATION
A-2 SCALE: 1/16"=1'-0"

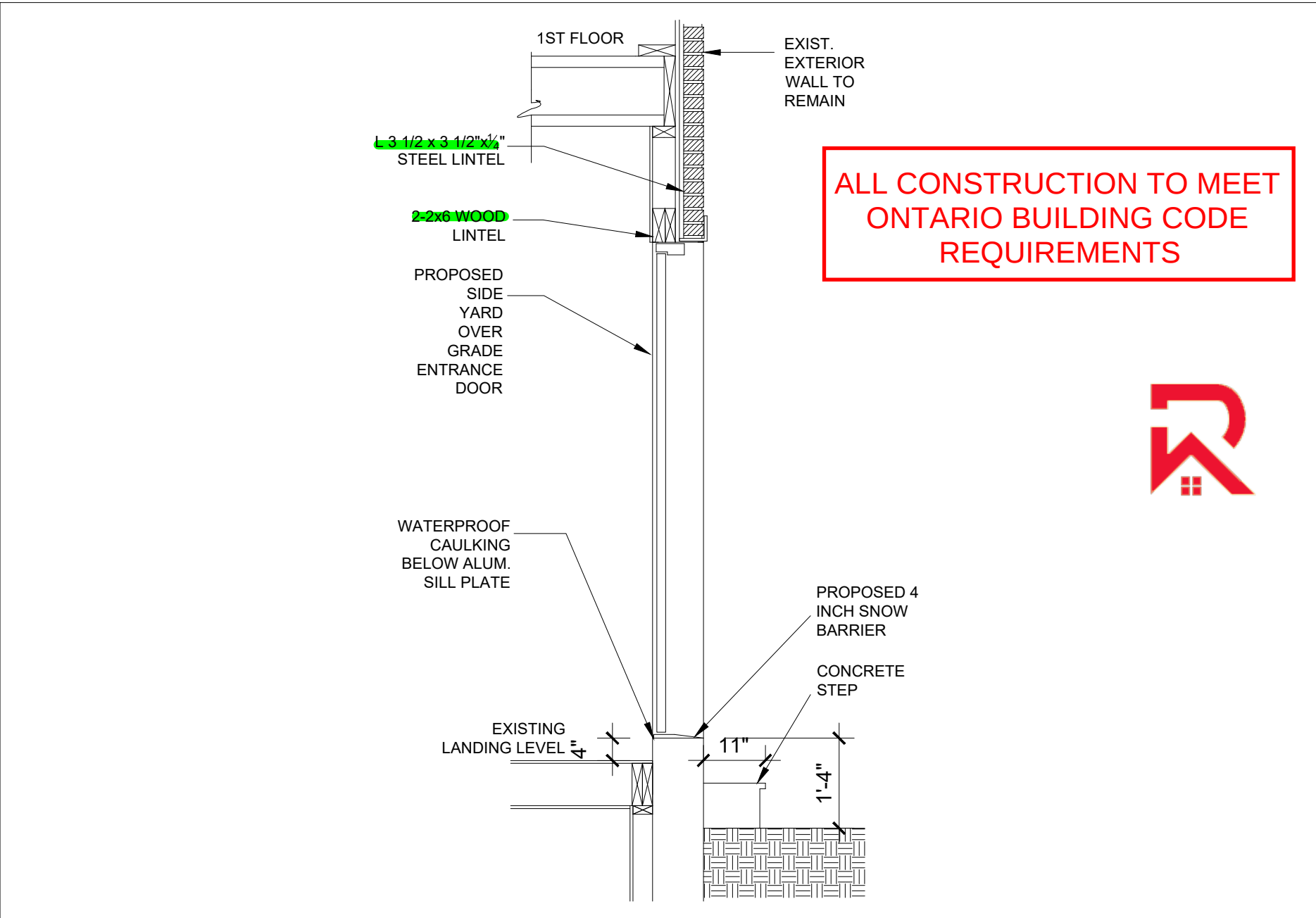


4 SITE PLAN
A-2 SCALE: 3/64"=1'-0"

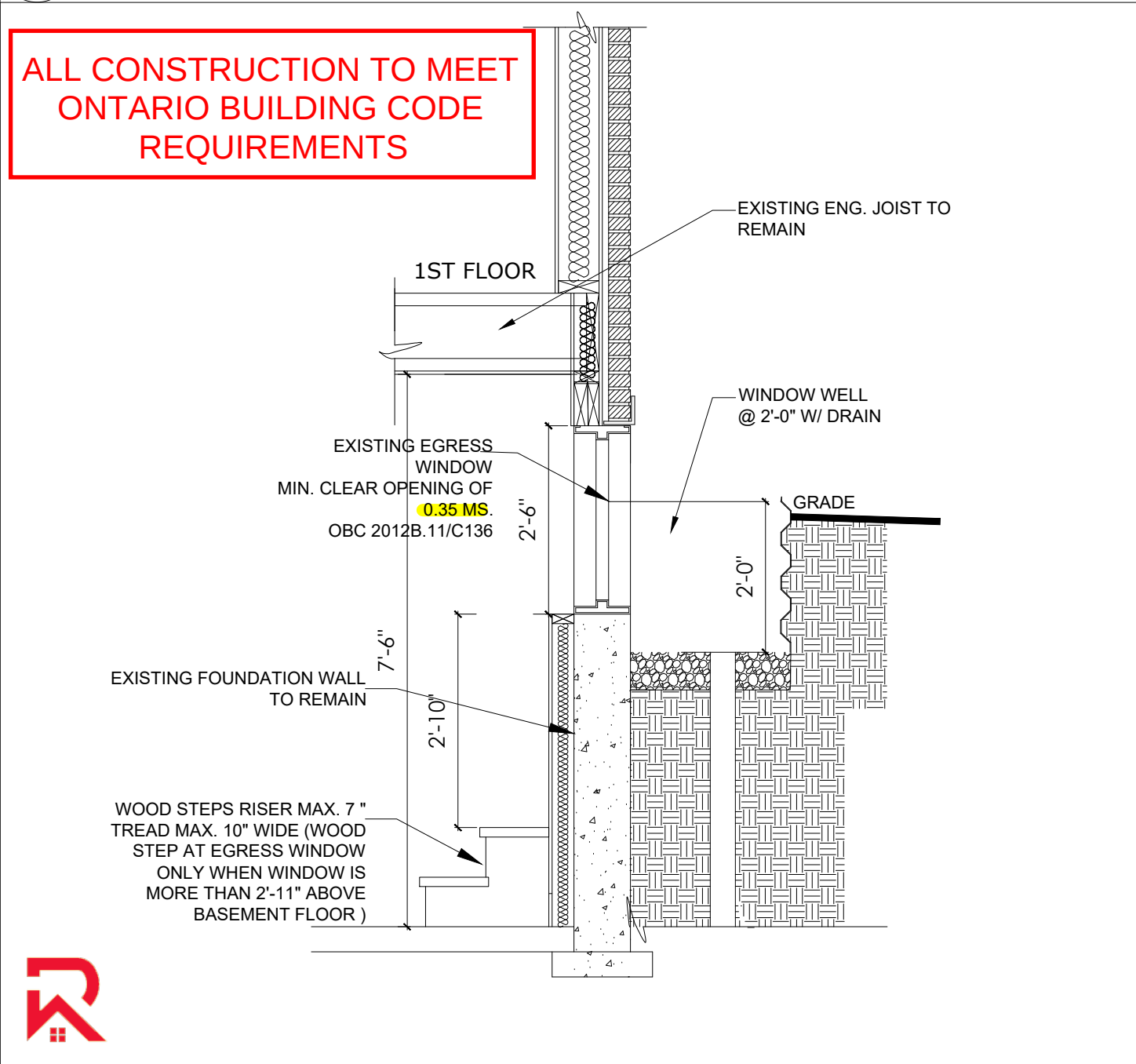
LEGEND	
AREA CALCULATIONS	
BASEMENT FLOOR AREA	= 1079 sqft
GROUND FLOOR AREA	= 1520 sqft
SECOND FLOOR AREA	= 1358 sqft
WALL SCHEDULE	
W1	- EXISTING 8" THICK FOUNDATION WALL
	- PROPOSED 2"x4" WOOD STUDS AT 16" O/C. W/ BLACK PAPER, R12 BATT INSULATION, W/ V.B. - 1/2" GYPSUM BOARD
W2	PROPOSED INTERIOR PARTITION WALL
	1/2" GYPSUM BOARD ON BOTH SIDES OF 2"x4" STUDS AT 16" O/C
W3	PROPOSED INTERIOR PARTITION WALL
	ADD 5/8" TYPE "X" DRYWALL ON WORK SIDE. FIRE SEPARATION
DOOR SCHEDULE	
D1	EXISTING 36"x80"x1 3/4" H.M INSULATED R4
D2	PROPOSED 32"x80"x1 3/4" SOLID CORE WOOD DOOR (20 min.) w/ WOOD FRAME (45 min.) w/ DOOR CLOSER
D3	PROPOSED 24"x40"x1 3/4" LOW HEIGHT HOLLOW CORE WOOD DOOR w/ WOOD FRAME
D4	PROPOSED 24"x80"x1 3/4" HOLLOW CORE WOOD DOOR w/ WOOD FRAME
D5	PROPOSED 32"x80"x1 3/4" HOLLOW CORE WOOD DOOR w/ WOOD FRAME
WINDOW SCHEDULE (W x H)	
W1	EXISTING 28"x19" WINDOW
W2	PROPOSED 42"x30" EGRESS WINDOW
FLOORING SCHEDULE	
FL1	NEW ANTI SKID CERAMIC TILES
FL2	NEW 8 MM THICK LAMINATE
FL3	FINISHED CONCRETE
CEILING SCHEDULE	
	1 - 5/8" TYPE "X" GWB CEILING (MIN. 30 MIN. RATING)
LINTEL SCHEDULE	
	L 3 1/2" x 3 1/2" x 3/8" STEEL LINTEL
	2-2"x8" WOOD LINTEL.
DRAWING LEGEND	
SA	SMOKE ALARM INTERCONNECTED W/ A VISUAL SIGNAL LOCATION A/ OBC. OBC 2012 B.9.10.19.3
CO	CARBON MONOXIDE ALARM PER OBC 2012 B.9.33.4
FAN	FAN
FD	FLOOR DRAIN
EO	ELECTRIC OUTLET
S	SWITCH
REG	REGISTER
SPR	SPRINKLER HEAD
HWT	TANKLESS HOT WATER
CM	CEILING MOUNTED LIGHT

5 LEGENDS
A-2 SCALE: NTS

SIGNED - MD ARIFUZZAMAN	OWNER:		LOCATION	
	NO: DATE: REVISION:		210 ENGLISH LANE BRANTFORD ON N3T5L5	
	PROJECT TITLE:		SCALE:	DRAWN BY: CHECKED BY:
	BASEMENT SECOND UNIT		AS NOTED	
SIGNED - MST ROKSHANARA KHATUN	DRAWING TITLE:		PROJECT DATE:	
	SITE PLAN, FLOOR PLAN, ELEVATION		MARCH 2021	
			PROJECT NO:	SHEET NO:
			22001	A2



1 SIDE ENTRANCE DOOR
A-3 SCALE: 1/2"=1'-0"



LEGEND	
AREA CALCULATIONS	
BASEMENT FLOOR AREA	= 1079 sqft
GROUND FLOOR AREA	= 1520 sqft
SECOND FLOOR AREA	= 1358 sqft
WALL SCHEDULE	
W1	- EXISTING 8" THICK FOUNDATION WALL
	- PROPOSED 2"x4" WOOD STUDS AT 16" O/C. W/ BLACK PAPER,
	- R12 BATT INSULATION, W/ V.B.
	- 1/2" GYPSUM BOARD
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	1/2" GYPSUM BOARD ON BOTH SIDES OF 2"x4" STUDS AT 16" O/C
W3	PROPOSED INTERIOR PARTITION WALL
	ADD 5/8" TYPE "X" DRYWALL ON WORK SIDE. FIRE SEPARATION
DOOR SCHEDULE	
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D4	PROPOSED 24"x80"x1 3/4" HOLLOW CORE WOOD DOOR w/ WOOD FRAME
D5	PROPOSED 32"x80"x1 3/4" HOLLOW CORE WOOD DOOR w/ WOOD FRAME
WINDOW SCHEDULE (W x H)	
W11	EXISTING 28"x19" WINDOW
W12	PROPOSED 42"x30" EGRESS WINDOW
FLOORING SCHEDULE	
FL1	NEW ANTI SKID CERAMIC TILES
FL2	NEW 8 MM THICK LAMINATE
FL3	FINISHED CONCRETE
CEILING SCHEDULE	
1 - 5/8" TYPE "X" GWB CEILING (MIN. 30 MIN. RATING)	
LINTEL SCHEDULE	
L1	L 3 1/2" x 3 1/2" x 3/8" STEEL LINTEL
L2	2-2"x8" WOOD LINTEL
DRAWING LEGEND	
SA	SMOKE ALARM INTERCONNECTED W/ A VISUAL SIGNAL LOCATION A/ OBC: OBC 2012.8.9.10.19.3
CO	CARBON MONOXIDE ALARM PER OBC 2012.8.9.33.4
FAN	FAN
FD	FLOOR DRAIN
EO	ELECTRIC OUTLET
S	SWITCH
REG	REGISTER
SH	SPRINKLER HEAD
HW	TANKLESS HOT WATER
CLM	CEILING MOUNTED LIGHT

2 PROPOSED EGRESS WINDOW DETAIL
A-3 SCALE: 1/2"=1'-0"

3 LEGENDS
A-3 SCALE: NTS

OWNER:				LOCATION	
				210 ENGLISH LANE BRANTFORD ON N3T5L5	
				SCALE:	DRAWN BY
				AS NOTED	CHECKED BY
SIGNED - MD ARIFUZZAMAN	NO:	DATE:	REVISION:	PROJECT DATE:	
	PROJECT TITLE:			MARCH 2021	
	BASEMENT SECOND UNIT			PROJECT NO:	SHEET NO:
	DRAWING TITLE:			22001	A3
SIGNED - MST ROKSHANARA KHATUN			DETAILS		

Electrical Safety Authority: Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical work? They must be a Licensed Electrical Contractor. It's the law.
For more information go to: esasafe.ca or call 1-877-372-7233



NOTE: REVIEW OF THESE PLANS
DOES NOT NECESSARILY
GUARANTEE THAT THEY ARE IN
CONFORMANCE WITH THE
ONTARIO BUILDING CODE

OCCUPANCY OF A NEWLY ERECTED BUILDING OR
BUILDING ADDITION IS NOT PERMITTED UNTIL THE
BRANTFORD BUILDING DIVISION IS NOTIFIED AND
A FINAL INSPECTION IS MADE.

OCCUPANCY IS ALSO NOT PERMITTED UNTIL
COMPLIANCE IS MADE WITH ANY ORDER ISSUED
BY AN INSPECTOR.

ALL CONSTRUCTION, WHETHER DETAILED ON PLAN
OR NOT, IS SUBJECT TO FIELD APPROVAL BY THE
BRANTFORD BUILDING DIVISION.

ALL CONSTRUCTION TO MEET
ONTARIO BUILDING CODE
REQUIREMENTS